

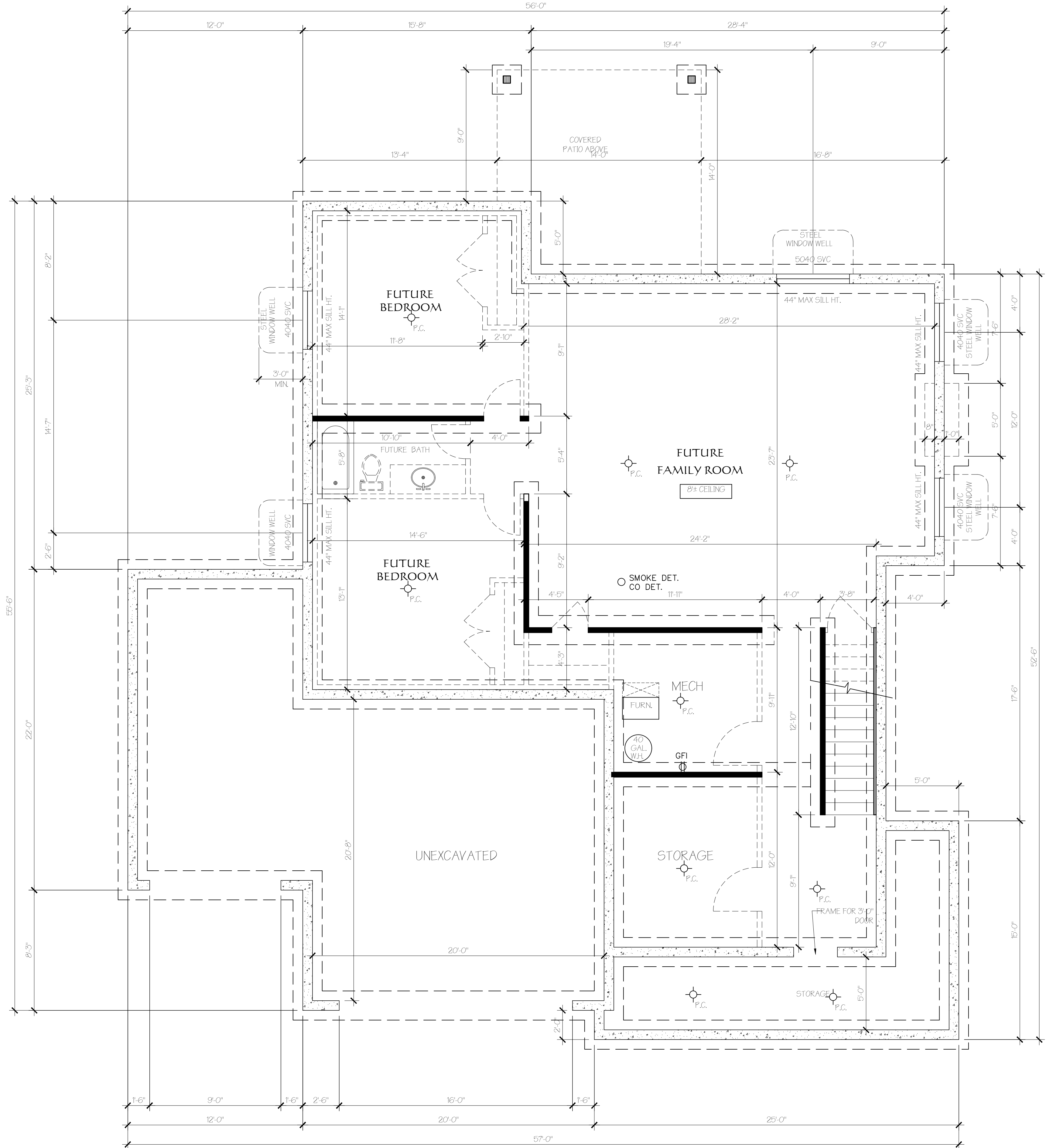
THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALLY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SALE AND EXPRESS WRITTEN PERMISSION FROM T&K DESIGN GROUP.

THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/BUILDER AND THE SUB CONTRACTORS TO REVIEW THE PLANS THOROUGHLY BEFORE GIVING AND/OR ACCEPTING BIDS. IF ANY ISSUES ARISE DURING REVIEW AND INSPECTION OF THE PLANS AND THEY ARE MADE KNOWN TO THE DESIGNER, T&K DESIGN GROUP, WE WILL MAKE THE CHANGES AT NO ADDITIONAL COST. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS. IF ISSUES ARE FOUND AFTER THE HOUSE IS IN THE CONSTRUCTION PHASE, WHICH WERE NOT BROUGHT TO THE ATTENTION OF THE DESIGNER, T&K DESIGN GROUP WILL NOT BE LIABLE NOR RESPONSIBLE. IT WILL BE FOR THE BUILDER AND SUB CONTRACTOR TO WORK OUT THESE PLANS ARE DESIGNED TO THE BEST OF OUR KNOWLEDGE OF THE SITUATION AT THE TIME, BUT ALL CONTRACTORS WHO WORK OFF THE PLANS ARE RESPONSIBLE FOR ANYTHING WITHIN THEIR SPHERE OF EXPERTISE. DO NOT SCALE DRAWINGS.

BASEMENT CEILING HEIGHTS ARE APPROXIMATE, WHILE PLANS SHOW A HEIGHT OF FOUNDATION WALLS BASEMENT CEILING HEIGHT WILL NOT TYPICALLY BE THAT EXACT HEIGHT. DO NOT SCALE DRAWINGS.

WINDOW WELLS MUST CONFORM TO THE IRC R310.2.3 FOR EGRESS, IF DEEPER THAN 44" FROM TOP OF WELL TO TOP OF GRAVEL, INSTALL A PERMANENT LADDER.



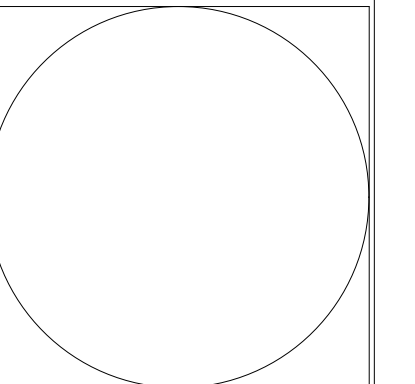
OPTIONAL BASEMENT LAYOUT
 SCALE: 1/4"=1'-0" 1855 S.F.

COTTAGE 2233
 GREEN RIDGE BUILDERS
 SUBDIVISION
 LOT #
 DATE: 20 APRIL 2017

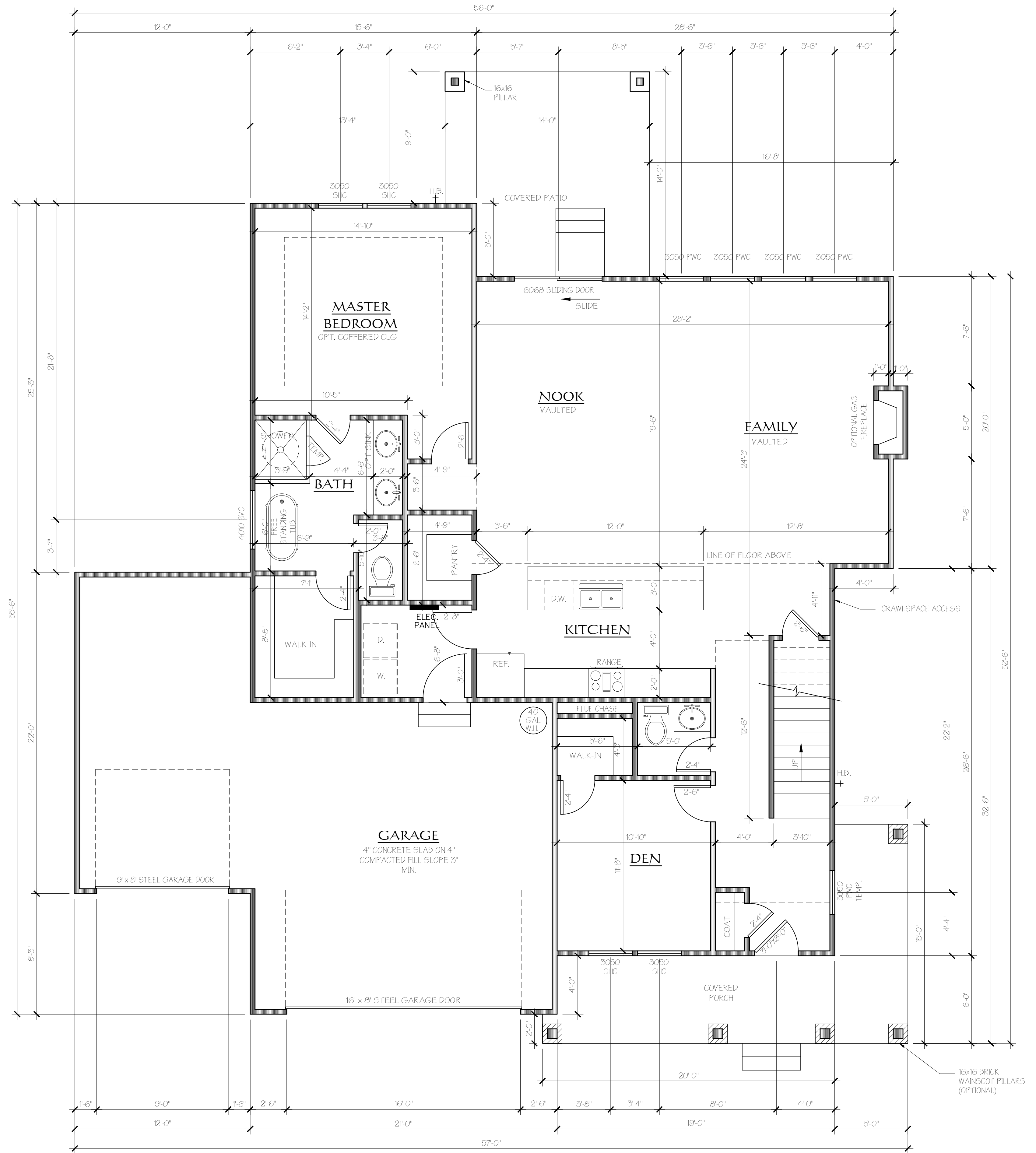
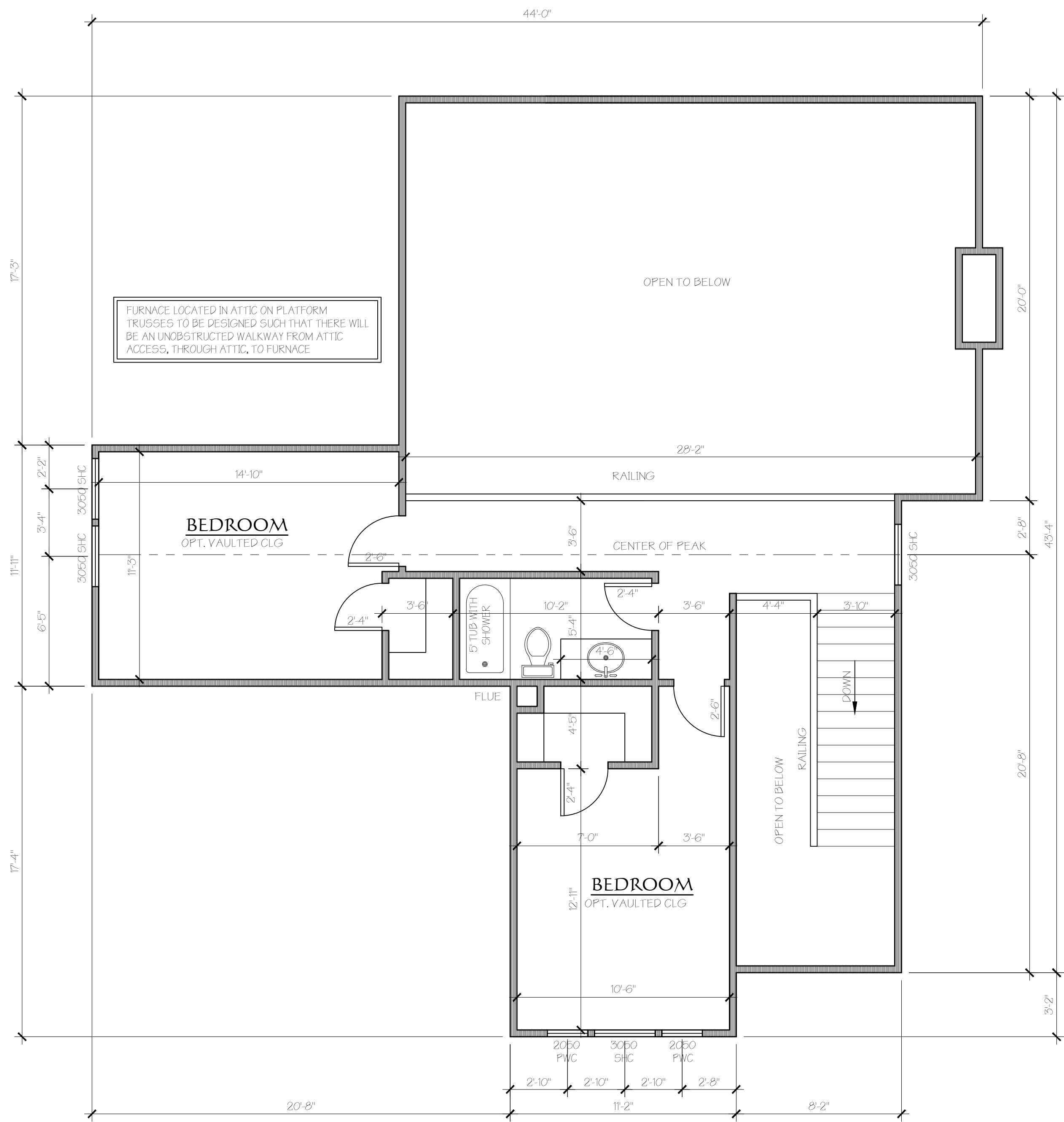
| REVISIONS: | date: | rev. # : |
|------------|----------|----------|
| | xx/xx/xx | 0 |
| | | |
| | | |

CHK'D BY:

DRAWN BY: TNK



SHEET NO. **1A**



THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM T&K DESIGN GROUP.

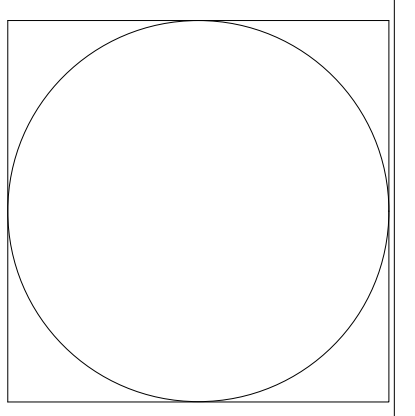
THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.

COTTAGE 2233
GREEN RIDGE BUILDERS
SUBDIVISION
LOT #
DATE: 20 APRIL 2017

| REVISIONS: | date: | rev. # : |
|------------|-------|----------|
| XX/XX/XX | | 0 |

CHK'D BY: _____

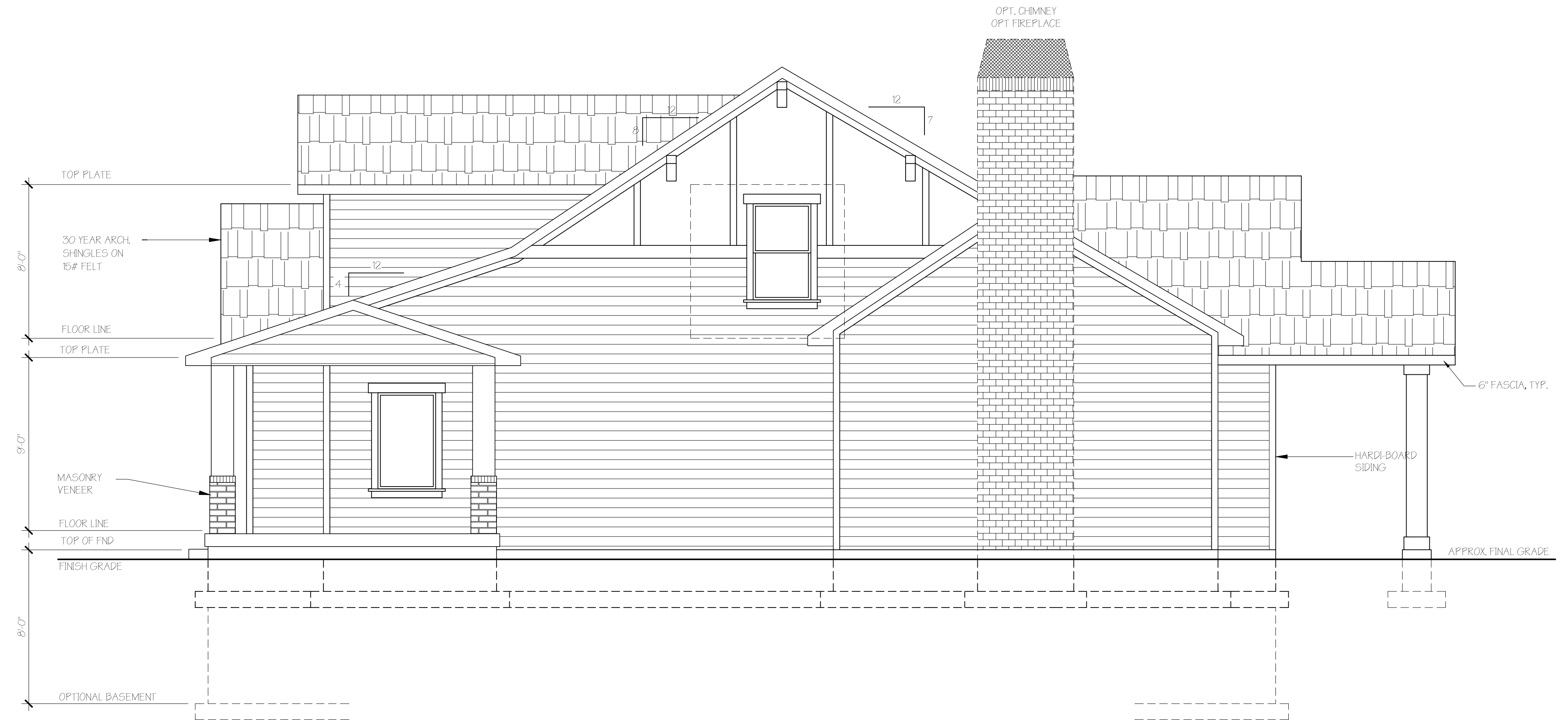
DRAWN BY: TNK



SHEET NO. 2

THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM T&K DESIGN GROUP.

THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.



RIGHT ELEVATION
 SCALE: 1/4"=1'-0"



FRONT ELEVATION
 SCALE: 1/4"=1'-0"

COTTAGE 2233

GREEN RIDGE BUILDERS

SUBDIVISION

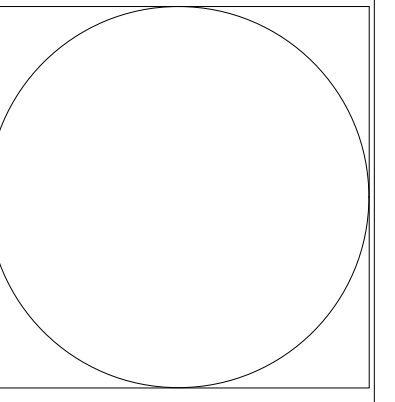
LOT #

DATE: 20 APRIL 2017

| REVISIONS: | |
|------------|----------|
| date: | rev. # : |
| xx/xx/xx | 0 |
| | |
| | |

CHK'D BY:

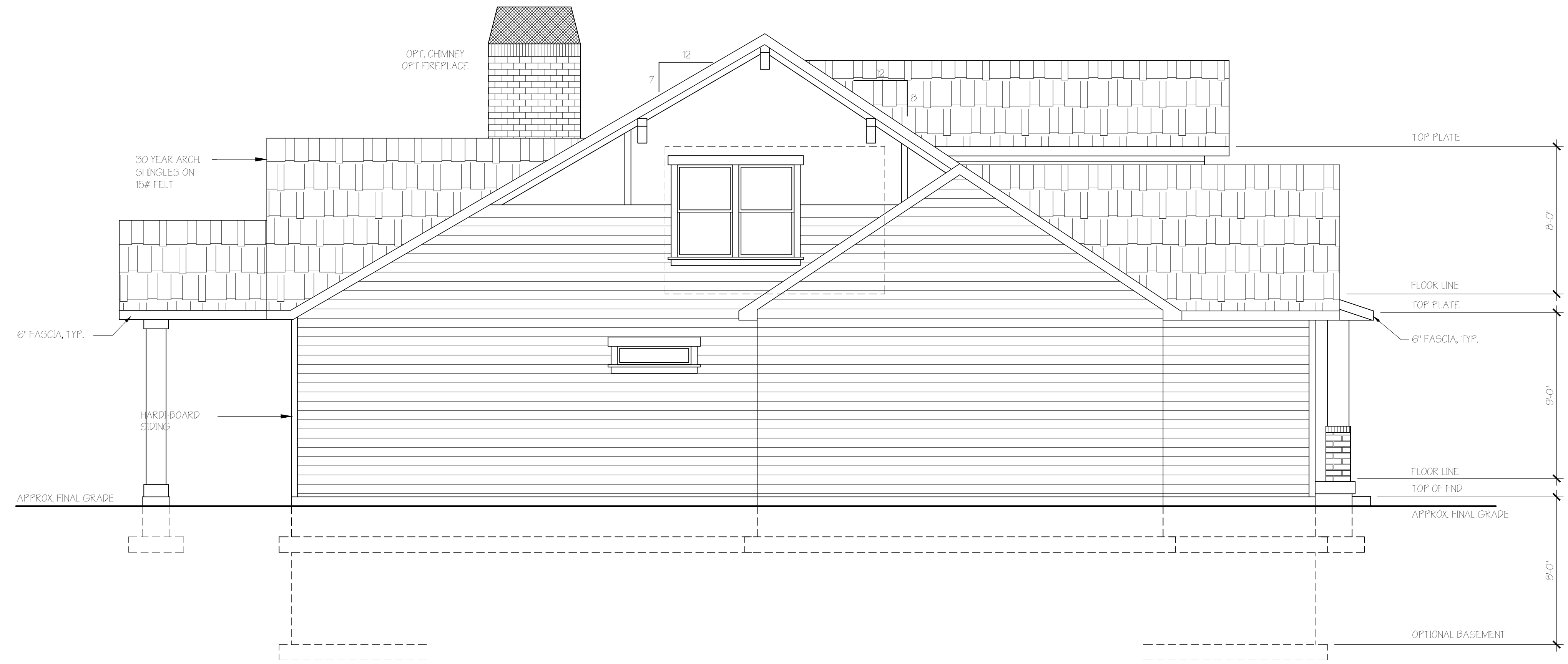
DRAWN BY: TNK



SHEET NO. **3**

THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM T&K DESIGN GROUP.

THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.



LEFT ELEVATION
 SCALE: 1/4"=1'-0"



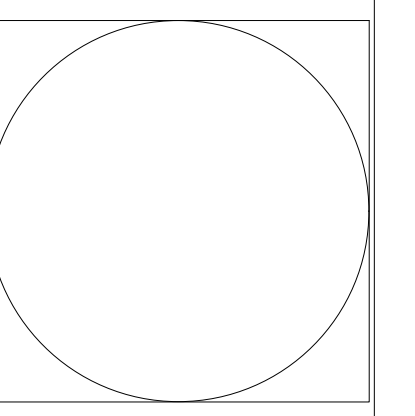
REAR ELEVATION
 SCALE: 1/4"=1'-0"

COTTAGE 2233
 GREEN RIDGE BUILDERS
 SUBDIVISION
 LOT #
 DATE: 20 APRIL 2017

| REVISIONS: | |
|------------|----------|
| date: | rev. # : |
| | 0 |

CHK'D BY:

DRAWN BY: TNK



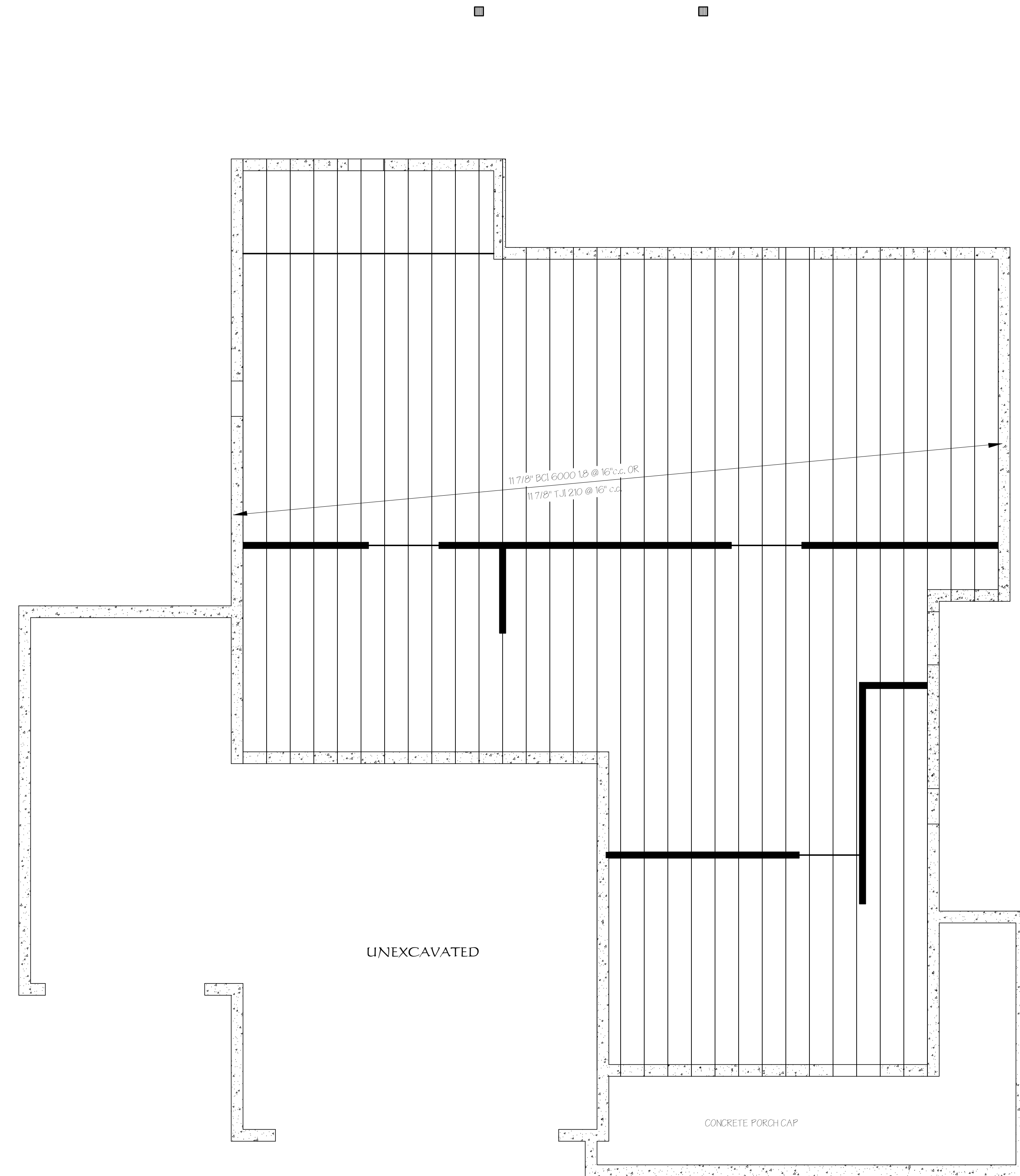
SHEET NO. **4**

THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM T&K DESIGN GROUP.

THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.



UPPER FLOOR FRAMING PLAN
 SCALE: 1/4"=1'-0"



MAIN FLOOR FRAMING PLAN BASEMENT OPTION
 SCALE: 1/4"=1'-0"

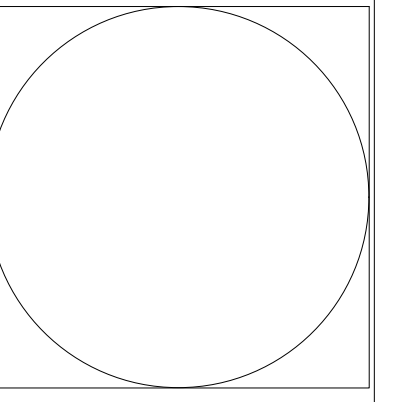
COTTAGE 2233

GREEN RIDGE BUILDERS
 SUBDIVISION
 LOT #
 DATE: 20 APRIL 2017

| REVISIONS: | |
|------------|----------|
| date: | rev. # : |
| | 0 |
| | |
| | |

CHK'D BY:

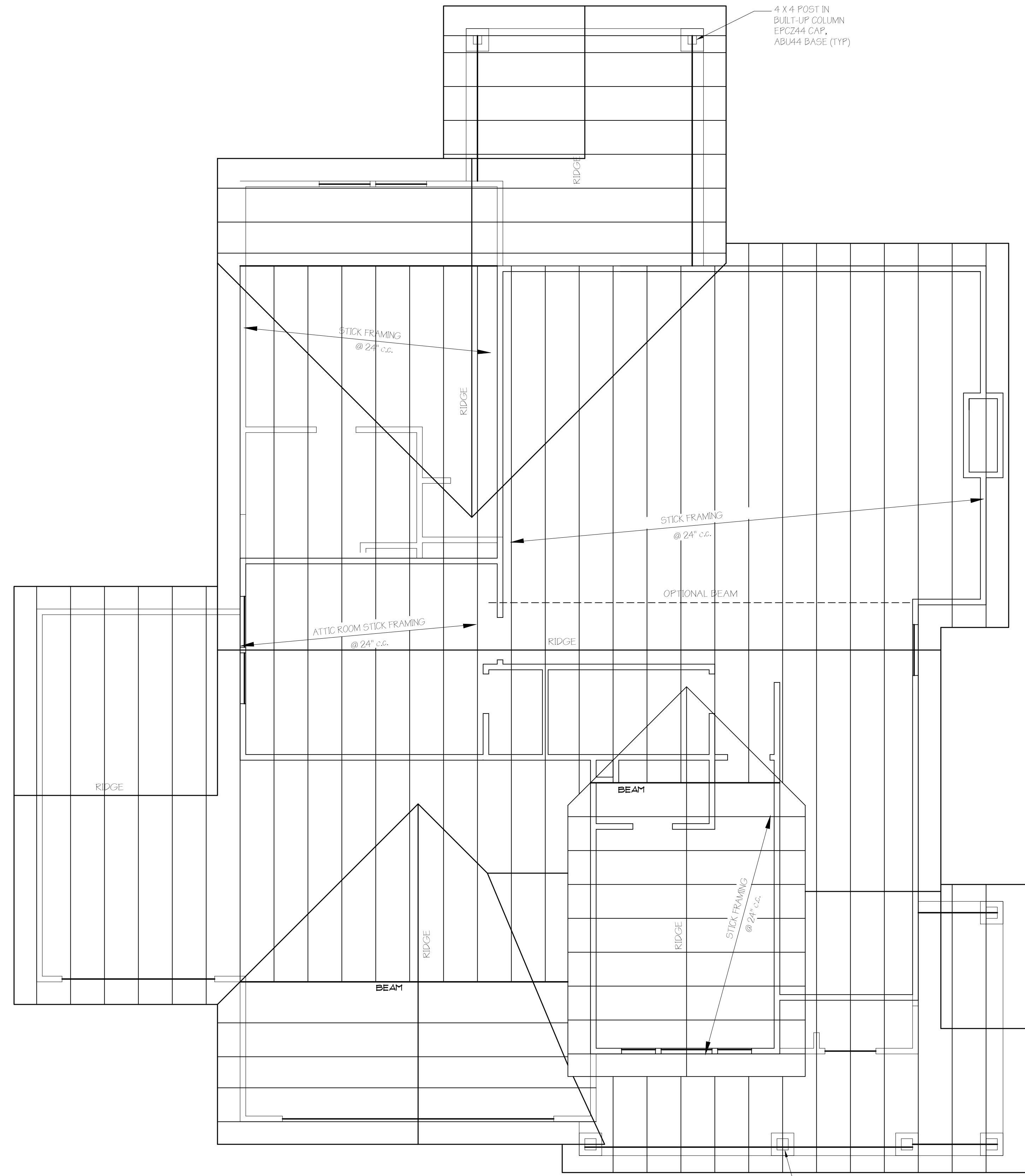
DRAWN BY: TNK



SHEET NO. **5**

THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS, THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM T&K DESIGN GROUP.

THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.



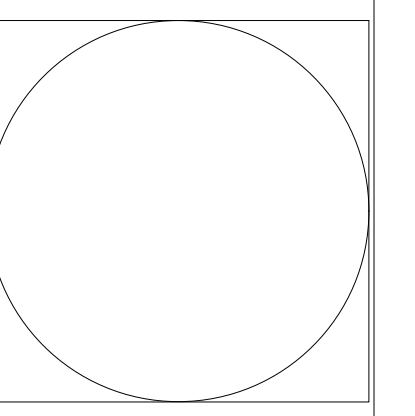
ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"

COTTAGE 2233
 GREEN RIDGE BUILDERS
 SUBDIVISION
 LOT #
 DATE: 20 APRIL 2017

| REVISIONS: | |
|------------|----------|
| date: | rev. # : |
| | 0 |
| | |
| | |

CHK'D BY:

DRAWN BY: TNK



SHEET NO. **6**

THE DESIGNS SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & MODELS THEREOF, ARE PROPRIETARY & CAN NOT BE COPIED, DUPLICATED, OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE SOLE AND EXPRESS WRITTEN PERMISSION FROM T&K DESIGN GROUP.

THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONSULTANTS, CONTRACTORS, GOVERNMENT AGENCIES, VENDORS, AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE.

COTTAGE 2233

GREEN RIDGE BUILDERS

SUBDIVISION

LOT #

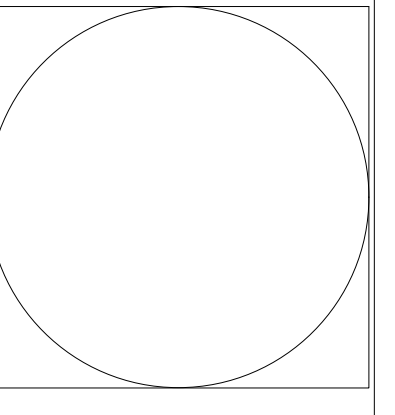
DATE: 20 APRIL 2017

REVISIONS:
 date: rev. # :

| | |
|--|--|
| | |
| | |
| | |
| | |

CHK'D BY:

DRAWN BY: TNK



SHEET NO.

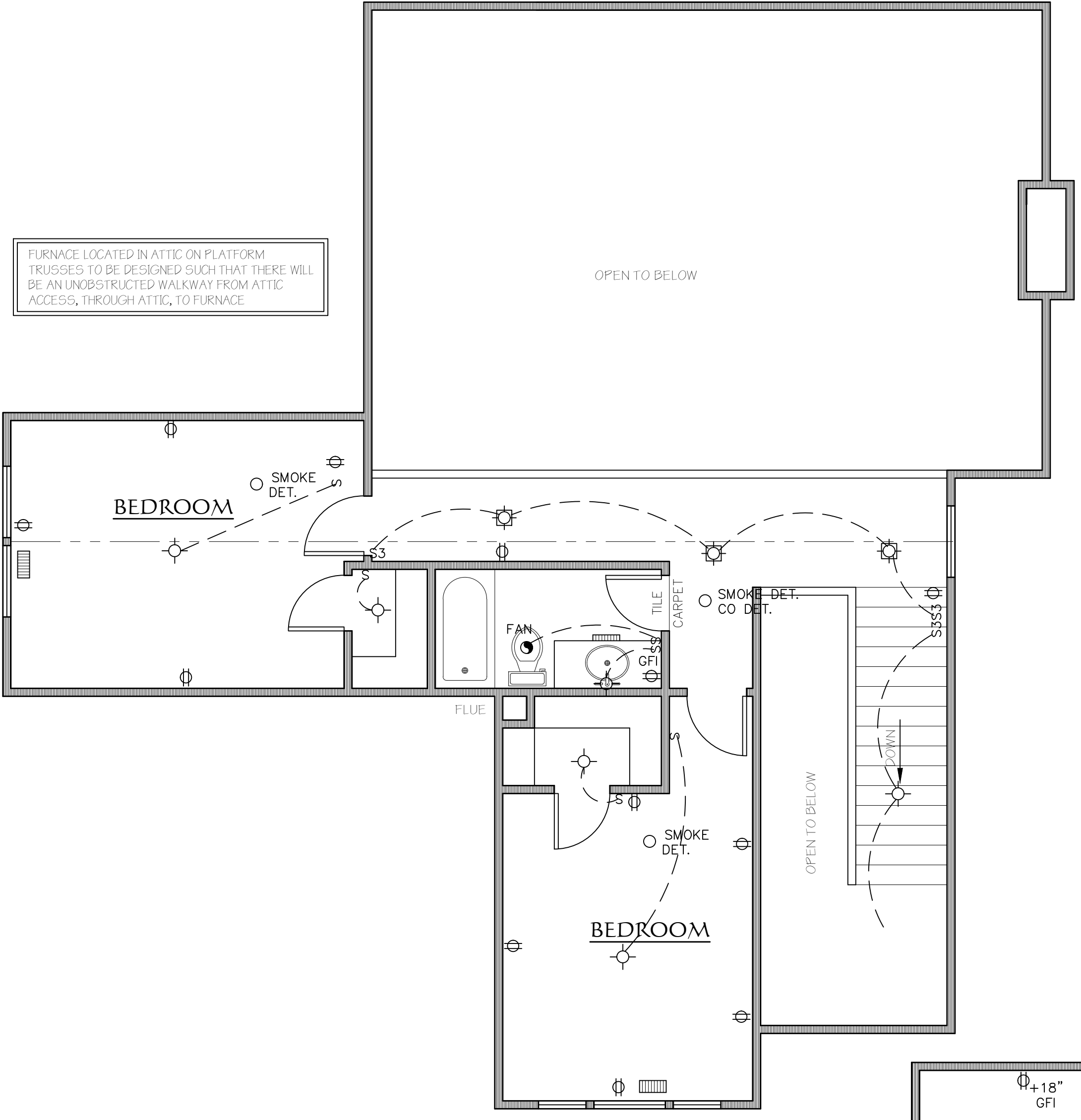
08

- ELECTRICAL NOTES :**
1. LIGHTS, SMOKE DETECTORS, AND EXHAUST FANS ARE REQUIRED IN AREAS SHOWN. LOCATIONS SHOWN FOR OUTLETS AND SWITCHES ARE GUIDELINES ONLY. ELECTRICAL CONTRACTOR TO WIRE AND LOCATE THESE ITEMS PER LOCAL CODE.
 2. SMOKE/C.O. DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. DETECTORS SHALL BE WIRED IN-SERIES.
 3. UNDERGROUND ELECTRICAL SERVICE SHALL BE INSTALLED IN 3" RIGID RISER WITH 3" RIGID ELBOW ATTACHED TO 3" PVC ELECTRICAL DUCT TO WITHIN 1 FT. OF PEDESTAL AND BURIED A MINIMUM 18" DEEP.
 4. GARAGE ELECTRICAL OUTLETS MUST BE 18" MIN. ABOVE THE FLOOR. GARAGE OUTLETS IN FIRE WALLS TO BE MINIMUM 2 HOUR LISTING.
 5. CEILING FANS REQUIRE SPECIAL APPROVED BOXES AND ADDITIONAL SUPPORT.
 6. ALL CIRCUITS SERVING BEDROOMS, KITCHEN AND LAUNDRY AREAS TO BE ARC-FAULT, CIRCUIT INTERRUPTER PROTECTED.
 7. PROVIDE A CONCRETE ENCASED ELECTRODE, AVAILABLE FOR USE AS A GROUNDING ELECTRODE FOR THE HOUSE, WHICH MEETS THE REQUIREMENTS OF THE 2014 NEC SECTION 250.52(A)(3) (UFER).
 8. CARBON MONOXIDE DETECTORS ARE REQUIRED ON EACH HABITABLE LEVEL. 120V WITH BATTERY BACK-UP.
 9. PROVIDE BUBBLE COVERS ON ALL EXTERIOR OUTLETS.
 10. PROVIDE SWITCHED LIGHT AT FURNACE ROOM.
 11. 125 AMP MINIMUM AT ELECTRICAL PANEL AS REQ'D.
 12. PLASTIC ELEC. BOXES IN GARAGE FIRE WALLS TO BE A MINIMUM 2 HOUR LISTING.
 13. PROVIDE 110 GFI OUTLET WITHIN 10 FEET OF A/C UNIT.
 14. GARAGE, ATTIC AND CRAWLSPACE, UNFINISHED ROOMS, KITCHEN COUNTERTOP, BATHROOM, EXTERIOR OUTLETS AND OUTLETS WITHIN 6' OF A SINK WILL BE GFI.
 15. ALL NEW (120 VOLT, 15 OR 20 AMP) RECEPTACLES SHALL BE TAMPER RESISTANT (IRC E4002.14)
 16. FIXTURES LOCATED IN TUBS, SHOWERS, EXTERIOR PORCHES AND COVERED PATIOS MUST BE RATED FOR WET OR DAMP LOCATIONS
 17. OUTLETS IN LAUNDRY AREAS AND OUTLETS SUPPLYING DISHWASHERS TO BE GFCI PROTECTED.
 18. LIGHTS IN CLOSETS MUST COMPLY WITH CLEARANCE DIMENSIONS OF IRC E4003.12

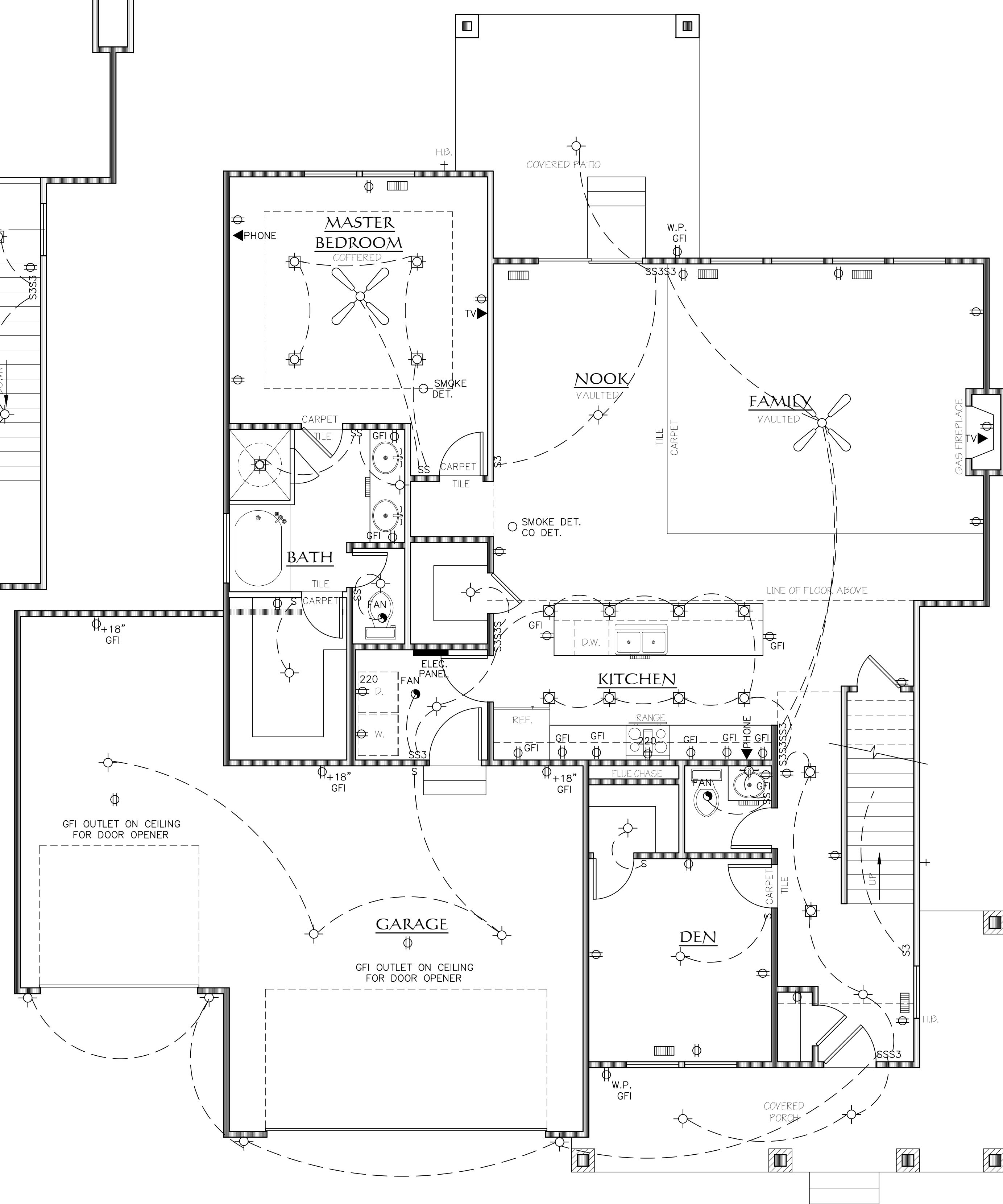
- PLUMBING NOTES :**
1. COMBUSTION AIR FOR W.H. TO BE SUPPLIED FROM OUTSIDE.
 2. FREEZELESS, BACKFLOW PREVENTION HOSE BIBBS REQUIRED. PROVIDE ACCESSIBLE SHUT-OFF BALL VALVE.
 3. LOW-FLUSH TOILETS REQUIRED, MAX. 1.6 GALLONS PER FLUSH.
 4. MAX. FLOW RATE FOR SHOWER HEADS IS 2.5 GALLONS PER MINUTE.
 5. PLUMBING VENTS SHALL BE AT LEAST 3' ABOVE OR 10' AWAY FROM ALL OUTSIDE AIR INTAKE OPENINGS. ALL PLUMBING VENTS THROUGH ROOF TO BE A MINIMUM 3" PIPE.
 6. FLAGPOLING OF PLUMBING VENTS IS PROHIBITED EXCEPT WHERE ROOF IS OCCUPIED.
 7. NO SLIP-JOINT PLUMBING CONNECTIONS ALLOWED IN CONCEALED CONSTRUCTION AREAS.
 8. INDIVIDUALLY INSULATE ALL PLUMBING, WATER, AND DRAIN LINES IN AREAS SUBJECT TO FREEZING: EXTERIOR WALLS, ATTICS, CRAWL-SPACES, GARAGES, ETC.
 9. PROVIDE PRESSURE REGULATING VALVE (PRV) ON MAIN WATER LINE AND SHUT-OFF VALVE FOR ALL PLUMBING FIXTURE SUPPLY LINES.
 10. IF INSTALLED, JACUZZI TUB TO HAVE GFI OUTLET AND ACCESS PANEL.
 11. FIXTURES THAT HAVE FLOOD LEVEL RIMS LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER SERVING SUCH FIXTURES SHALL BE PROTECTED FROM BACK FLOW OF SEWAGE BY INSTALLING AN APPROVED BACKWATER VALVE. FIXTURES HAVING FLOOD LEVEL RIMS ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. BACKWATER VALVES SHALL BE PROVIDED WITH ACCESS.
 12. PROVIDE ANTI-SCALD FAUCETS AT ALL SHOWER AND TUB/SHOWER COMBO'S. BATHTUBS AND WHIRLPOOL TUBS SHALL LIMIT THE TEMPERATURE TO A MAXIMUM OF 120'.

- MECHANICAL NOTES :**
1. PROVIDE OUTSIDE COMBUSTION AIR TO FURNACE AND WATER HEATERS. ONE DUCT WITHIN 12" OF THE CEILING & SIZED 1 SQ. IN. PER 3000 TOTAL BTU INPUT OF ALL APPLIANCES.
 2. DRYER MUST VENT TO OUTSIDE. MIN. 4" DUCT. LENGTH NOT TO EXCEED 25'. REDUCE BY 2 1/2' FOR EACH 45° BEND AND 5' FOR EACH 90° BEND.
 3. FLUE AND EXHAUST FAN VENTS SHALL BE AT LEAST 3' ABOVE OR 10' AWAY FROM ALL OUTSIDE AIR INTAKE OPENINGS. THEY MUST ALSO BE LOCATED AT LEAST 4' FROM A PROPERTY LINE. EXHAUST AIR SHALL NOT DISCHARGE INTO SOFFIT.
 4. 2 SEISMIC STRAPS, ONE IN THE UPPER THIRD AND ONE IN THE LOWER THIRD OF THE WATER HEATER, AND EXPANSION TANK ARE REQUIRED ON WATER HEATER.
 5. VENTS SHALL TERMINATE 4' BELOW OR 4' HORIZONTALLY, AND AT LEAST 1' ABOVE A DOOR, OPENABLE WINDOW OR A GRAVITY AIR INLET.
 6. ALL BATHROOMS TO HAVE 50 CFM MECHANICAL VENTILATION DUCTED TO THE EXTERIOR. UNLESS 3 SQUARE FEET OF GLAZED OPENING IS PROVIDED.
 7. INSULATE HEATING TRUNK AND BRANCH SUPPLY DUCTS IN UNCONDITIONED AREAS, CRAWL SPACES, ATTICS, UNHEATED GARAGES AND ANY OTHER "COLD" AREAS WITH R-8 OR BETTER. ALL HOT WATER LINES AT UNFINISHED BASEMENT TO BE INSULATED WITH 1/2" FOAM INSULATION.
 8. IF INSTALLED, GAS LOGS, AND EACH GAS APPLIANCE REQUIRES A SHUT-OFF VALVE WITHIN SIX FEET OF THE APPLIANCE.
 9. IF FURNACE IS INSTALLED IN ATTIC PROVIDE A 12" RAISED PLATFORM WITH 30" MIN. WORK SPACE ALONG FURNACE FRONT. PROVIDE CONDENSATION PAN WITH DRAIN. TRUSSES TO BE DESIGNED SUCH THAT THERE WILL BE AN UNOBSTRUCTED WALKWAY FROM ATTIC ACCESS, THROUGH ATTIC, TO FURNACE
 10. PROVIDE 30"x30" UNOBSTRUCTED WORK SPACE AREA IN FRONT OF FURNACE. MIN. CLEARANCE ON FURNACE TO BE 6" FRONT AND 3" SIDES AND REAR.
 11. ATTIC INSTALLED DUCTWORK TO BE ENCAPSULATED IN ATTIC INSULATION OR DUCT TIGHT TESTING IS REQUIRED.

FURNACE LOCATED IN ATTIC ON PLATFORM TRUSSES TO BE DESIGNED SUCH THAT THERE WILL BE AN UNOBSTRUCTED WALKWAY FROM ATTIC ACCESS, THROUGH ATTIC, TO FURNACE



UPPER FLOOR ELEC./HVAC AND FLOOR COVERING PLAN
 SCALE: 1/4"=1'-0"



MAIN FLOOR ELEC./HVAC AND FLOOR COVERING PLAN
 SCALE: 1/4"=1'-0"